

## JOINT DEVELOPMENT CONTROL COMMITTEE (CAMBRIDGE FRINGE SITES)

Report by: **Joint Director of Planning and Economic Development**

Date: **18<sup>th</sup> January 2017**

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<b>Application No.</b>	S/2647/16/RM (SCDC)	<b>Agenda Item</b>
<b>Date Received</b>	6 October 2016	<b>Officer</b> Katie Christodoulides
<b>Target Date</b>	5 January 2017 extended to 25 January 2017	
<b>Parish</b>	Haslingfield	
<b>Site</b>	Local Centre Phase Trumpington Meadows Development Site Hauxton Road Cambridge Cambridgeshire	
<b>Proposal</b>	Reserved Matters for Local Centre including 40 new dwellings with associated internal roads, car and cycle parking, landscaping and open space and 450 square metres of A1, A2, A3 or D1 use pursuant to outline planning approval S/0054/08/O	
<b>Applicant</b>	Barratt Homes Eastern Counties	
<b>Application Type</b>	Major	<b>Departure:</b> No

The above application has been reported to the Planning Committee for determination by Members in accordance with the Scheme of Delegation for the Joint Development Control Committee for the Cambridge Fringes.

### Contents

	<b>Page</b>
Site Description/Area Context	2
The Proposal	3
Amended Plans and Additional Information	3
Site History	4
Publicity	6
Policy	6
Internal and External Consultations	7
Neighbour Representations	10
Assessment	10
1. Principle of the development	11
2. Relationship of Proposals to local centre strategy approved under outline condition 48	12
3. Affordable housing, housing mix and density	12
4. Compliance with parameter plans and Trumpington Meadows design code	13
5. Retail Units	16
6. Drainage	18

7. Public Art	18
8. Renewable energy and sustainability	18
9. Disabled access	19
10. Residential amenity	19
11. Refuse arrangements	20
12. Highway Issues	20
13. Car and cycle parking	20
14. Construction Management Plan (CMP)	22
15. External lighting	22
16. Ecology	22
17. Archaeology	22
18. Planning Obligation Strategy	22
Conclusion	22
Recommendation	22

## APPENDICES

Ref	Title	Page
1	APPENDIX 1 – Plan of Trumpington Meadows Phases	30
2	APPENDIX 2 - Quality Panel minutes dated 11 <sup>th</sup> April 2016	31
3	APPENDIX 4- Visuals of the proposed scheme	35
4	APPENDIX 3- Design code compliance statement	39

SUMMARY	<p>The application accords with the Development Plan for the following reasons:</p> <ol style="list-style-type: none"> <li>1) This scheme complies with the general principles of the outline parameter plans, local centre strategy outline condition 48 submission dated 18<sup>th</sup> June 2014 and the site wide design code.</li> <li>2) The scheme provides a strong sense of place and a legible layout creating a high quality local centre for Trumpington Meadows.</li> <li>3) The development achieves an appropriate level of car parking.</li> <li>4) The scheme delivers 40% affordable housing in accordance with policy.</li> </ol>
RECOMMENDATION	APPROVAL SUBJECT TO CONDITIONS

### 1.0 SITE DESCRIPTION/AREA CONTEXT

- 1.1 Trumpington Meadows lies on the south west edge of the City to the west of Hauxton Road, and forms part of the area allocated for predominantly residential development within Cambridge Local Plan 2006 Policy 9/5 (Southern Fringe) and within the Cambridge Southern Fringe Area Action Plan 2008. The Proposed Submission Cambridge Local Plan 2014 allocates the site for housing within proposals site R42b.

- 1.2 In October 2009 outline planning permissions were granted by Cambridge City and South Cambridgeshire District Council's for 1200 dwellings, a country park, primary school, community facilities, informal and formal play space and associated infrastructure at Trumpington Meadows. Since then a number of reserved matters applications have been approved and the development is well advanced.
- 1.3 The Local Centre site comprises of a rectangular shaped plot adjacent to Trumpington Primary School, to the north of the site lies Phase 8, with Phase 9 lying to the west. The site is situated in the Urban Quarter with the spine road running through it. The site falls fully within the South Cambridgeshire District Council boundary.

## **2.0 THE PROPOSAL**

- 2.1 This reserved matters application needs to be considered in the context of the local centre strategy outline condition submission that was approved by the Joint Development Control Committee (JDCC ) on 18<sup>th</sup> June 2014. Reserved matters permission is sought for the erection of 40 new dwellings in two blocks with associated internal roads, car and cycle parking, landscaping and public open space, and 450 square metres of A1 (Shops), A2 (Financial and Professional Services), A3 (Food and Drink) or D1 (Non-residential Institutions) use (anchor store 315m<sup>2</sup>, second unit of 65m<sup>2</sup> and third unit of 70m<sup>2</sup>) in the southern block pursuant to outline planning approval S/0054/08/O. Reserved matters approval is sought for access, appearance, landscaping, layout, and scale. The development provides 24 market dwellings and 16 affordable dwellings. This equates to 40% affordable housing for the Local Centre Phase.
- 2.2 For over 12 months officers have engaged in pre-application meetings with the developer team on the Local Centre Phase. The scheme was considered by the Cambridgeshire Quality Panel and supported. Comprehensive comments on the emerging scheme were provided and the applicant and their design team have largely amended the proposals to respond to the issues and suggestions made by officers.
- 2.3 The application is accompanied by the following supporting information:
1. Design and Access Statement including Compliance Statement
  2. Planning Statement
  3. Marketing Statement
  4. Statement of Community Engagement
  5. Drainage Strategy Statement

### **Amended Plans and Additional Information**

- 2.4 The following amended plans and additional information have been received 29/11/2016 following officer and consultee comments:
- Amendments to the design comprising external wall thickness, floor height, all stair and corridors internal, Juliette balconies on level one north block central to opening, gas risers in facades, traditional construction to blocks, internal staircase design revised, layout revised.

- Updated Design & Access Statement including Compliance Statement
- Updated Planning Drawings
- Updated Landscape Drawings
- Updated Drainage Plan
- Updated Technical Notes on parking, highways, lighting and underground recycling facilities

### 3.0 SITE HISTORY

Reference	Description	Outcome
S/2712/16/DC	Discharge of Conditions 14 (Code for Sustainable Homes), 21 (Renewable Energy), 28 (Contamination), 30 (Construction Management Plan), 42 (Archaeology) and 45 (Fire Hydrants) of outline planning consent S/0054/08/O for the Local Centre	Approved
S/2710/13/DC	Trumpington Meadows Local Centre Strategy, Outline Condition 48 (S/0054/08/O)	Approved
08/0048/OUT	Demolition of existing buildings and structures, redevelopment for approximately 600 dwellings, two new accesses onto Hauxton Road, recreation/leisure uses including change of use from agriculture to public open space, with associated parking, infrastructure and earthworks.	Approved S106
S/0054/08/O (SCDC)	Demolition of existing buildings and structures, redevelopment for approximately 600 dwellings. And for a Primary School, Recreation/Leisure Uses including change of use from agriculture to public open space, community and other local facilities with associated parking, infrastructure and earthworks.	Approved S106
S/0685/10/RM (SCDC)	Phase 1 Infrastructure provision (Phase 1 Primary Street (spine road) and John Lewis Partnership Access)	Approved
10/0501/REM (City)	Phase 1 Infrastructure provision (Phase 1 primary street and John Lewis Partnership access).	Approved
S/1113/10 (SCDC)	Formation of a Country Park	Approved
S/00506/11/CC	Two form entry primary school incorporating	Approved

(County)	pre-school and community facilities with associated car and cycle parking, multi-use games area, hard surface play areas, playing fields.	
11/0073/REM (City)	Submission of reserved matters (access, appearance, landscaping, layout and scale) for 163 dwellings to north east part (Phase 1) of Trumpington Meadows pursuant to outline application 08/0048/OUT.	Approved
11/0075/REM (City)	Submission of reserved matters (access, appearance, landscaping, layout and scale) for 161 dwellings to north east part (Phase 1) of Trumpington Meadows pursuant to outline application 08/0048/OUT.	Approved
S/0160/11 (SCDC)	Reserved matters (access, appearance, landscaping, layout and scale) for 29 dwellings to north east (Part Phase one, 189 dwellings) of Trumpington Meadows pursuant to outline applications 08/0048/OUT & S/0054/08/O.	Approved
14/0624/REM (City)	Reserved Matters for 86 new dwellings with associated internal roads, car parking, landscaping, amenity and public open space. The reserved matters include use, amount, layout, scale, landscaping and appearance.	Approved
S/2998/14/RM & 14/2109/REM	Reserved matters for phase 8 providing 36 new dwellings with associated internal roads, car parking, landscaping, amenity and public open space. (25 dwellings fall within South Cambridge District Council and 11 dwellings fall within Cambridge City Council).	Approved
S/2176/16/RM & 16/1488/REM	Reserved Matters for Riverside Phase including 122 residential dwellings with associated internal infrastructure, car parking, landscaping, amenity and public open space pursuant to outline planning approval S/0054/08/O	Approved
S/2646/16/RM & 14/2109/REM	Reserved matters for phases 10&11 providing 392 new dwellings with associated internal roads, car parking, landscaping, amenity and public open space.	Pending Decision

#### 4.0 PUBLICITY

4.1 Advertisement:	Yes
Adjoining Owners:	Yes
Site Notice Displayed:	Yes

#### 5.0 POLICY

##### 5.1 Relevant Development Plan policies:

PLAN	POLICY NUMBER
Cambridge Southern Fringe Area Action Plan 2008	CSF/1 CSF/2 CSF/3 CSF/6 CSF/7 CSF/11 CSF/12 CSF/13 CSF/16 CSF/17 CSF/19 CSF/21 CSF/22
LDF Core Strategy Development Plan Document January 2007	ST/2 ST/10
LDF Development Control Policies Development Plan Document July 2007	DP/1 DP/2 DP/3 HG/1 HG/2 HG/3 NE/6 NE/11 NE/14 SF/6 SF/10 TR/2 TR/4

##### 5.2 Relevant Central Government Guidance, Supplementary Planning Documents and Material Considerations

Central Government Guidance	National Planning Policy Framework (NPPF) March 2012 National Planning Policy Framework – Planning Practice Guidance March 2014
Supplementary Planning Guidance	Cambridgeshire and Peterborough Waste Partnership (RECAP): Waste Management Design Guide Supplementary Planning Document (February 2012)  LDF District Design Guide: High Quality and Sustainable Development in South Cambridgeshire (March 2010) Landscape in New Developments SPD (March 2010) LDF Affordable Housing SPD (March 2010)  Public Art (January 2009)
Material Considerations	Area Guidelines Trumpington Meadows Design Code (2010)

##### 5.3 Status of Proposed Submission – South Cambridgeshire Local Plan

Planning applications should be determined in accordance with policies in the adopted Development Plan and advice set out in the NPPF. However, after consideration of adopted plans and the NPPF, policies in emerging plans can also be given some weight when determining applications. For South Cambridgeshire,

therefore, the emerging revised Local Plans as published for consultation in July 2013 can be taken into account, especially those policies where there are no or limited objections to it. However it is likely, in the vast majority of instances, that the adopted development plan and the NPPF will have considerably more weight than emerging policies in the revised Local Plan.

- 5.4 For the application considered in this report, the following policies in the emerging plan that carry some weight are:

**South Cambridgeshire Plan**

CC/6 Construction Methods  
CC/8 Sustainable Drainage Systems  
CC/9 Managing Flood Risk  
HQ/1 Design Principles  
HQ/2 Public Art and New Development  
H/9 Affordable Housing  
SC/10 Lighting proposals  
SC/11 Noise Pollution  
SC/12 Contaminated Land

**6.0 CONSULTATIONS**

**Cambridgeshire County Council (Highways Development Management)**

Comments on application as submitted

- 6.1 No objections to the proposals subject to a suitable adoptable layout for the Highway being agreed. Requested confirmation as to who will own and maintain the recycling facility as if this will be private, the structure cannot lie beneath the public highway. Commuted sums will be required for trees, non-standard materials and other features that would result in increased maintenance liabilities for the Highway Authority.

Comments on amended application

- 6.2 No objections. The issues of way marking and limits of adoption of the public highway are satisfactory.

**Cambridgeshire County Council (Flood and Water Team)**

Comments on application as submitted

- 6.3 No objections to the principle of the Drainage Strategy Statement for the Local Centre. However, there is no indication of the proposed impermeable area following development. As part of the strategic drainage system, impermeable areas per development parcel were agreed and we need to ensure that the allowable area is not exceeded for each reserved matters application.

Comments on amended application

- 6.4 The updated Detailed Drainage Strategy (ref: 0658-SK142 Rev D dated November

2016) confirms the proposed impermeable area is within the approved limit and is acceptable.

**Refuse Team**

6.5 No comments received.

**Anglian Water**

6.6 No comments received.

**Wildlife Trust**

6.7 No comments received.

**Access Officer**

6.8 No comments received.

**Cambridge County Council Archaeology**

6.9 The submitted Written Scheme of Investigation for Archaeological Mitigation dated February 2010 is acceptable subject to a programme of post excavation analysis leading to the publication of the excavation as detailed in the letter dated 18<sup>th</sup> October 2012 from Alison Dickens Cambridge Archaeological Unit.

**Police Architectural Liaison Officer**

6.10 No further comments to make.

**Sustainability Officer**

6.11 The application is considered to present a credible strategy for achieving the energy and carbon requirements of local policy. To ensure the development meets the requirements of Code for Sustainable Homes Level 4, the applicant will need to provide a Building Regulations compliant baseline showing the TER (Target Emissions Rate) of the various dwellings within the development, along with BER (Building Emissions Rate) proving the appropriate percentage reduction in carbon emissions has been achieved (25% on Part L 2010). The applicant is committed to achieving Code for Sustainable Homes Level 4, ensuring a 25% reduction in carbon emissions compared to Building Regulations Part L 2010, and BREEAM 'Very Good' for retail buildings, the scheme will achieve all the requirements of the energy and carbon policies.

**Drainage Officer**

6.12 No further comments to make as all the details have been included in the application. Recommends a condition requiring no building to be occupied until the surface of water drainage scheme for the site has been completed in accordance with the submitted details.



### **Affordable Housing Officer**

- 6.13 All developments that increase the net number of dwellings on site by 3 or more need to provide 40% affordable housing suitable to address local housing needs. The tenure mix for affordable housing generally in South Cambridgeshire District is 70% social rented and 30% intermediate housing. However, on the sites which form urban extensions to Cambridge, the starting point is 75% Affordable Rent and 25% Intermediate. It would be preferable in this case for all the affordable housing to be of a single tenure which in this case is social rented. As this phase is part of a larger overall development, it would be preferable to accommodate the shared ownership requirement within the wider site wide S106 and remaining phases.

### **National Grid**

- 6.14 No comments received.

### **Landscape Officer**

#### Comments on application as submitted

- 6.15 Requests additional information in relation to the extent of adoptable boundaries being identified, the adoptable footpath being continuous, removal of the planting bed in the adoptable path, details of street lighting, kerbs next to trees to protect from car damage, the tree in the centre of the main access to the building being removed and further details required for landscaping and 5 year maintenance.

#### Comments on amended application

- 6.16 The amended plans have addressed the previous comments and are acceptable, and requests conditions in regard to final details hard landscaping, the car park pergolas (non-masonry systems) and boundary details.

### **Urban Design Officer**

#### Comments on application as submitted

- 6.17 Additional information is required in regard to proposed lighting columns and impeding on parking, waste refuse collection routes to the north and south block being unusable and parking courts being designed with a central black top access to align with the adopted turning head.

#### Comments on amended application

- 6.18 The amended drawings are acceptable subject to the imposition of conditions. The proposed layout is appropriate and in accordance with the Trumpington Meadows development framework and design code. The transitional point between the community street and the main square has been improved with the removal of proposed landscaping. Requests that conditions restricting the delivery times to particular times of the day for the retail units are imposed to avoid conflict with the residential units above. The proposals demonstrate a clear approach to the private/public threshold. The amendments to the elevations are supported subject to

conditions in regard to brick recesses and detailing. Requests conditions in regard to a sample panel for the brick work, non masonry systems, windows and doors, hard landscaping, boundary treatments and balconies.

#### **Acting Environmental Health Manager**

- 6.19 Raises no concerns and the submitted Construction Management Plan is sufficient. Due to the mix of commercial and residential uses in this location, conditions are required to control hours of use of the units, hours of deliveries, a noise assessment in regard to any plant proposed, details of extraction and odour, and management of the commercial uses.

#### **Cambridge Fire and Rescue Service**

- 6.20 The provision of fire hydrants has been agreed and the planning condition can be discharged.

#### **Scientific Contaminated Land Officer**

- 6.21 Parts a, b, c and d of Condition 28 (contaminated land) of the outline permission in regard to remediation have been discharged. Parts e and f relate to post start on the site, stages of the development which have been agreed and remain applicable to the Outline condition.

### **7.0 REPRESENTATIONS**

- 7.1 No comments received.

#### **Haslingfield Parish Council**

- 7.2 No recommendation.

#### **Grantchester Parish Council**

- 7.3 No comments on original scheme received. No objections to the amended plans.

#### **Trumpington Residents Association**

- 7.4 No comments received.

### **8.0 ASSESSMENT**

- 8.1 The main material planning considerations in this instance are:
1. Principle of development
  2. Relationship of proposals to local centre strategy approved under outline condition 48
  3. Affordable housing, housing mix and density
  4. Compliance with parameter plans and Trumpington Meadows design code  
Context of site, design and external spaces

5. Retail Units
6. Drainage
7. Public Art
8. Renewable energy and sustainability
9. Disabled access
10. Residential amenity
11. Refuse arrangements
12. Highway Issues
13. Car and cycle parking
14. Construction Management Plan (CMP)
15. Noise
16. External lighting
17. Ecology
18. Archaeology
19. Planning Obligation Strategy

## **1. Principle of Development**

- 8.2 This is a residential reserved matters scheme for 40 dwellings and 450m<sup>2</sup> of A1 (Shops), A2 (Financial and Professional Services), A3 (Food and Drink) or D1 (Non-residential Institutions) use pursuant to the outline permission. The combined master plan which was approved as part of the outline application fixes the key principles for the development.
- 8.3 A number of strategic conditions attached to the outline permission have been discharged by the Joint Development Control Committee (JDCC), which includes the Design Code, Phasing, Site Wide Drainage Strategy, Strategy for Youth Facilities and Children's Play and Public Art Strategy. Condition 48 of the Outline application was also discharged by the JDCC under application S/2710/13/DC detailing the Local Centre strategy.
- 8.4 The applicant seeks the discharge of the following outline conditions that apply to the Local Centre Phase:
- 4 – Reserved matters detail
  - 5 – Parking
  - 10– Design Code Compliance Statement
  - 13 – Private and affordable housing
  - 14- Minimum Level 4 Code for Sustainable Homes
  - 15 – Life Time Homes
  - 17 – Drainage
  - 18 - Drainage
  - 19 - Main and foul water drainage
  - 21- Renewable Energy
  - 24 - Landscaping within the built-up area
  - 30- Construction management plan
  - 32 -Waste recycling facilities
  - 35- Building Levels
  - 36 - Car parking for people with disabilities
  - 37 - Overall car parking numbers
  - 38 - Cycle ways and footpaths

- 8.5 The details of these pre-commencement conditions have been incorporated into the reserved matters submission as appropriate. Any stand-alone conditions from the outline consent will be dealt with in a separate discharge application.

The principle of development is considered acceptable given the scheme's context as part of a wider approved residential urban extension development.

## **2. Relationship of proposals to local centre strategy approved under outline condition 48**

- 8.6 The approved local centre strategy discharged under condition 48 of the outline permission established the following principles for the local centre:
- Vision: Creation of a viable and vital Local Centre, a primary public space and place that is attractive and pedestrian friendly.
  - Context: Provision of a key open space in the centre of the development and links to the development through the spine road and a green finger linking the open space and Country Park to the west.
  - The Units: Flexibility in the number, type and size of the Local Centre commercial units.
  - Transportation and Accessibility: The main square will provide parking in the shared space for visitors with the rear area providing parking for residential units.
  - Maintenance and Management: The ownership and maintenance responsibility for the square, hard and soft landscaping is an important component.
  - Waste Recycling Facility: Provision of an underground recycling facility.
  - Marketing Strategy: The marketing strategy is based on attracting a user to the anchor store and approaches during the design process. Once the anchor store tenant is known, tenants will be sought for the other units.

## **3. Affordable housing, housing mix and density**

- 8.7 It is proposed that 16 of the 40 residential units are affordable, which equates to 40% of the housing mix. This achieves the minimum 40% requirement site wide. All of the 16 affordable units will be social rented. This does not meet the S106 agreed indicative affordable housing tenure split of 75:25 ratio. The approved Registered Provider (RP) BPHA have confirmed that 100% social rented for all the affordable provision on the site is proposed as it would be easier to have one tenure in terms of management, and the proposed shared ownership sited above the retail units would be less attractive. In this instance, the proposed affordable housing tenure would be acceptable given the small number of residential units affected and given the concerns of the registered housing provider. Furthermore, the site wide affordable housing tenure split can be balanced on remaining phases, such as Phases 10 & 11, which have recently been submitted but are yet to be determined. Cumulatively, 40% of the total 1,190 dwellings at Trumpington Meadows would be affordable with 75% of the affordable being social rented, and 25% being shared ownership to comply with the S106 requirements.

- 8.8 All the affordable units will be provided within the southern block. Condition 13 of the outline consent states that no more than 20 affordable apartments can be clustered

together (with no more than 12 accessed from a common stairwell or lift). 16 affordable apartments would be provided with 10, and the following 6 apartments accessed from two stairwells. The proposal is considered to meet this condition requirement.

- 8.9 In line with the design code, a mix of 50% housing and 50% apartments in the urban quarter is intended, with the design code stating that apartments will be located on corner plots or front principal spaces. The Local Centre is located at one of these principal spaces and comprises a mix of 1-bed and 2-bed apartments, as follows:

Table 1: Local Centre Phase housing mix

Apartment	Affordable	Market	Total
1 bed	4	9	13
2 bed	12	15	27
Total	16	24	40

- 8.10 The gross housing density at the Local Centre phase is 61 dwellings per hectare (dph). This reflects the approach set out in the approved design code (p.152), which seeks a gross density of between 60-65 (dph).
- 8.11 Consequently, the proposal, as viewed collectively with surrounding phases, is considered to provide a satisfactory level of affordable housing and housing mix to meet the aims and objectives of Policy CSF/7 of the Cambridge Southern Fringe AAP and the outline planning consents.

#### **4. Compliance with parameter plans and Trumpington Meadows design code**

- 8.12 The key considerations are the appropriateness of the design, layout, scale, massing, and external appearance of the buildings in their setting. Compliance with the Outline scheme, Local Centre strategy discharged under condition 48 of the outline permission and the design code requirements is discussed below.
- 8.13 Design and layout

The evolution and justification of the layout of the scheme is well illustrated and summarized within the Design and Access Statement including the compliance statement (Appendix 3) along with the submitted plans and elevations. Under the Masterplan & Design Code, the design principles for the Local Centre Phase are for a primary building frontage, which helps create a distinctive quality and character, having a rich architectural detail. Together with the adjacent primary school which faces onto the square, the proposal defines the central public square and Local Centre with a tree lined avenue along the east-west vista providing a distinct social space. The proposed scheme is in line with the concept drawings submitted as part of the Local Centre strategy discharged under condition 48 of the outline permission by the southern block being commercial, residential car parking being to the rear of the blocks, with visitor car and cycle parking being within the public square.

### Scale and Massing

- 8.14 The outline parameter plans identify building heights for the Local Centre of up to four storeys (up to 14.5 metres) along the primary street and principal square, and up to 3 storeys (up to 11 metres) beyond this. As per the design code, roof profiles should generally be constant along the street with variation and emphasis of the height on the street corners. Repetition of building heights along either side of the streets is important to local distinctiveness.
- 8.15 Officers are supportive of the proposed scale and massing in which the two proposed blocks are mainly three storey's in height, and four storey's at the eastern corners. The building heights help to frame and define the public square, providing a good sense of enclosure.
- 8.16 Overall, the scheme accords with the principles set out in the design code relating to height and massing.

### Elevations

- 8.17 The overall approach to the design of the proposal is contemporary vernacular, with simple L shaped blocks which provide a clear distinction of the front and rear elevations.
- 8.18 The design of the frontage of the northern block is characterized by being wholly residential with a quite uniform, vertical emphasis and rhythm with balconies recessed and slightly projecting. The frontage of the southern block is characterized by having retail units at the ground floor with residential units at the upper floors. The design of the southern block is simple in its appearance having a uniform appearance. Both blocks are higher at the eastern corners and allow a vista leading into the public square and views beyond to the country park. The proposed design of the two blocks is considered to be of a high quality and fits with the principle of the approved local centre strategy under condition 48 of the outline permission.

### Materials

- 8.19 The applicant has identified the general approach to materials within section 4 of the D&A Statement. The primary brick colour for the Local Centre is a soft light pink. The northern block will be composed of a light pink brick with the southern block having light grey bricks at the base for the retail use, and soft light bricks at the top for the residential use. The proposed brick colour aims to provide a rich colour which emphasizes the importance and warmth of the local centre as a focal point. A condition (1) is recommended to require sample panels of the bricks and details of the materials.

### External Spaces

- 8.20 The proposed Local Centre square provides a principal focal space, connecting with the green corridor of Piper Green leading to the Country Park. The square paving pattern follows the building grid. The square would provide an integration point for all key elements consisting of the Spine Road, commercial units, social spaces, parked

vehicles, trees, planting beds, recycling facilities and would provide a circulation space and zones for different activities. This would accord with the context principle agreed in the approved Local Centre strategy under condition 48 of the outline permission.

- 8.21 The comments of the Landscape Officer have been addressed in the amended plans. The Landscape Officer advises conditions are added in regard to hard landscaping (Condition 5), non masonry systems for the northern block car park pergolas (Condition 2) and boundary treatment (Condition 7) and these are recommended at the end of this report.
- 8.22 The proposed scheme does not require any form of Local Area of Play (LAP) in accordance with the approved site wide Youth and Play Strategy under condition 11 of the outline consent. Notwithstanding this, the nearest LAP is situated within Pipers Green and is within easy walking distance of the scheme.
- 8.23 Each dwelling will have sufficient private amenity space in the form of a balcony at first or second floor or a private terrace at ground floor level.

Cambridgeshire Quality Panel Review

- 8.24 Prior to the submission of the planning application, the proposed scheme was considered by the Cambridgeshire Quality Panel in April 2016. Positive responses were received and the submitted plans have incorporated the Panel’s comments. The Quality Panel report is contained at Appendix 2. The table below sets out the key issues raised through the Quality Panel review process and how the submitted application has addressed them, or if not, giving justification from the applicant as to why.

<b>Panel comment</b>	<b>Addressed in application</b>
Explore the potential uses of the space by different groups, for example consider the provision of an urban gym, to the east of the square next to the school.	The scheme does not include a specific area of children’s play in the form of a locally equipped area of play (LEAP) or neighbourhood equipped area for play (NEAP) as the only available space would be directly outside the front entrance of the school which would give rise to noise issues for the residents during anti-social hours.
Explore alternatives for the parking and recycling centre.	Rows of parking in the central square will be integrated with trees, hedges and planting. The location is also fixed in the design code.  The waste recycling will be underground to minimise its visual impact.
Consider the use of feature lighting to create a sense of place.	Street lighting columns will be black powder coated as per the existing within other parts of the development. Lighting also needs to be to an

Panel comment	Addressed in application
	adoptable standard for the Local Highway Authority.
Overheating is a concern, as many new homes overheat and it is expensive to correct.	Improved specification glazing will be employed to reduce the amount of solar gain and occupants will be able to install internal blinds to reduce overheating.
There is an opportunity to raise some of the buildings to 4 floors.	The design is predominantly three storey's in height with the eastern corners of the two blocks being accented with double height bays, balconies and elevated balustrade profiles. The proposed height and design therefore creates enough sense of hierarchy and distinction when viewed against surrounding residential buildings.
The architecture should remain calm and simple.	The design and elevations are simple with contemporary vernacular.
Consider paving and shared surface patterns and how this affect pedestrian and drivers behaviour. Is the grid the right size and scale?	The central square paving pattern follows the building grid, allowing the successful integration of visual constraints such as the Spine Road, parked vehicles, pedestrian routes through tree planting and demarcation. The spine road will be defined by a flush channel kerb on each side which will offer enough change in surface level to provide the partially sighted concern to be cautious and comply with wayfinding.

### Summary

- 8.25 The design and layout of the Local Centre Phase is considered to be consistent with the principles of the design code, Local Centre strategy approved under condition 48 of the outline consent, and will successfully contribute to the character of the emerging character areas, comprising the urban quarter. As such the proposal is compliant with Policies DP/1 and DP/2 of the South Cambridgeshire LDF 2007 and Policy CSF/2 of the Cambridge Southern Fringe AAP 2008.

### **5. Retail Units**

- 8.26 The approved Local Centre strategy discharged by members on 18<sup>th</sup> June 2014 under (S/2710/13/DC) under condition 48 of the outline permission required marketing prior to the Reserved Matters submission. The marketing strategy focused on attracting a suitable convenience food operator for a large retail anchor unit. The marketing exercise indicated that a large convenience store would be difficult to deliver, but a number of smaller units would provide opportunity to fulfil the vision of



the approved Local Centre Strategy, encouraging and creating the necessary footfall, linked trips and activity for the Centre to be a community location.

- 8.27 The proposed three commercial units would be sited within the southern block on the ground floor totaling 450m<sup>2</sup>. The units would form a parade along the southern edge of the square facing north. The proposal includes for A1, A2, A3 and D1 uses to allow a range of different commercial and community uses to come forward. This accords with the Local Centre strategy that sought flexibility in the number, type and size of the Local Centre units to give confidence that the units will attract occupiers, commence occupation and remain occupied. The occupants of the units are not currently known and it is intended to market and secure a suitable convenience food operator for the anchor unit first. This would then encourage other complimentary operators for the smaller units to follow in line with the agreed strategy.

#### Servicing

- 8.28 Each of the commercial units has a rear door for staff and servicing. Units 2 and 3 would be serviced from the community street with the anchor unit being serviced by a rear passage at the south edge of the site, with flexibility to service at the front from the layby. Condition 15 is recommended to require submission of a management plan which will fully detail how the servicing arrangements for each unit will operate.
- 8.29 Condition (14) is recommended to restrict the amalgamation of the individual units, as a new configuration would have an impact on servicing, design and amenity which would require further consideration.

#### Deliveries

- 8.30 Condition 15 is recommended to require submission of a management plan for each commercial unit to include details of deliveries in order to minimise the impact on neighbouring properties. Condition 10 is recommended to restrict the hours of deliveries within the Local Centre to between 07:00 and 19:00 hours on Monday to Saturdays and between 09:00 and 17:00 on Sundays, Bank and Public Holidays.

#### Noise and odour control measures

- 8.31 In line with the Environmental Health Officer's comments conditions 9,10,11,12 are recommended to protect the amenity of residents by minimizing noise, odours and disturbance from the commercial uses to the residential units sited at the first and second floor levels.
- 8.32 To protect the residential properties from disturbance, condition 9 is recommended to restrict opening hours of the units from 07:30 to 23:00 hours Monday to Saturday and 07:30 to 22:00 hours on Sundays, Bank and Public Holidays. Condition 10 would restrict deliveries to the units between 07:00 and 19:00 hours on Monday to Saturdays and between 09:00 and 17:00 on Sundays, Bank and Public Holidays.
- 8.33 To protect the residential properties plant and equipment noise, condition 11 is recommended to require submission of a noise assessment from plant equipment and proposed sound insulation.

- 8.34 Duct vent shafts to the roof level of the southern block are proposed through vertical shafts, which will be for ventilation and cooling only of the building. The occupants of the commercial units are unknown and therefore to protect the residential properties from odour from any A3 uses (café/restaurant), condition 12 is recommended to require details of extraction, filtration and abatement.

#### Management and Maintenance

- 8.35 The residential parking area for the north block, public realm areas comprising the square and surrounding areas will be managed and maintained by a private management company. Residential parking for the southern block will be managed by the Registered Provider.

### **6. Drainage**

- 8.36 The drainage from the proposal will discharge to the existing constructed ditch on the west side of the development. The downstream ditch and sewers are routed through the proposed country park to catchment area pods. The drainage strategy proposes the use of bio retention areas within the private square which will be adopted by the private management company. There will be no use of soak a-ways or other infiltration systems. The drainage system has been designed with sufficient storage capacity enabling flows off the site to be controlled to the recommended discharge rates. Strategic drainage issues were raised by the County Lead Flood Authority and have been resolved following receipt of an amended drainage report received 29/11/16, and the proposal is in line with the site wide drainage plan. Adequate provision is made for sustainable drainage in accordance with Policy NE/10 of the South Cambridgeshire LDF 2007, Policy 8/18 Cambridge Local Plan 2006 and Policies CSF/2 and CSF/24 of the Cambridge Southern Fringe AAP 2008.

### **7. Public Art**

- 8.37 The overall public art strategy for the Trumpington Meadows site has been approved through the Section 106 Agreement (Schedule 2, Part A (11) of the outline consent. The strategy has different themes that will be implemented throughout the development. The proposed public art for this area will respond to the wider 'Play Patterns' theme which aims to enhance routes and connect the network of residential streets and the country park through informal play. Final details of this public art are unknown and will be recommended to be secured by condition (16). Subject to this condition, the proposal will comply with Policy SF/6 of the South Cambridgeshire LDF 2007, Policies CSF/2 and CSF/9 of the Cambridge Southern Fringe AAP 2008 and the approved Public Art Strategy for the Trumpington Meadows site (September 2010).

### **8. Renewable energy and sustainability**

- 8.38 Condition 21 of the outline permission requires the submission of details to ensure that a minimum of 10% of each phase's energy is generated from renewable sources. The 'Sustainable Design and Construction statement' submitted with the application sets out the approach to reduction in energy demand and emissions. Photovoltaics

are proposed to be installed to meet the minimum of 10% energy produced from renewable sources. All units will be built to Code for Sustainable Homes level 4 in line with the requirements of Condition 14 of the outline permission.

- 8.39 The applicants have suitably addressed the issue of sustainability and renewable energy and the proposal is in accordance with Policies NE/1 and NE/3 of the adopted South Cambridgeshire Local Development Framework 2007 and Policy CSF/21 of the Cambridge Southern Fringe Area Action Plan 2008.

## **9. Disabled access**

- 8.40 The scheme accords with condition 15 of the outline approval, which requires 15% of all market dwellings and 15% of all affordable dwellings to meet the lifetime homes accreditation. All properties will be fully accessible by reason of Part M of the Building Regulations. All units will be accessible through an easy going stair which is compliant with the Lifetimes Homes requirement. The proposed retail units will demonstrate that BREEAM 'Very Good' will be achievable. The proposal is therefore compliant with policy CSF/2 of the Cambridge Southern Fringe AAP 2008.

## **10. Residential Amenity**

### Impact on amenity of neighbouring occupiers

- 8.41 To the north of the proposed northern block lies the existing neighbouring terraced properties along Osprey Drive (Phase 8), with a parallel row of housing to the north west of the site along Carmine Road. The northern block would lie at its closest 1.3 metres from the common boundary with the immediate neighbour at No.24 Osprey Drive, and 4 metres from its side elevation. Within the proposed north side elevation of the northern block lies side windows at first and second floor which serve bathrooms, and as a result there would not be any overlooking to this neighbouring property. The proposed northern block to the west would have an attached cycle store building projecting along the boundary. The northern block would result in minimal loss of light and overbearing impact to this neighbour.
- 8.42 The proposed southern block would lie adjacent to the neighbouring properties which are currently being built under Phase 9. The proposal would not result in any significant harm to the amenity of the adjacent properties.

### Amenity for future occupiers of the site

- 8.43 Each apartment has access to a private balcony or private terrace at ground floor level.
- 8.44 The apartments within the southern block would be above the commercial units which form a continuous parade. The proposed uses for the units are currently unknown and the proposals put forward are for A1, A2, A3 or D1 use. Recommended conditions (9, 10,11 & 12) in regard to hours of use for the units, delivery times for the units, assessment of noise for the plant serving the units and sound insulation and details of equipment for extraction, filtration and abatement of fumes and odours will ensure that the amenity of the neighbouring units are protected.

- 8.45 The outlook of the apartments within the northern block would be towards the car park which would be partly screened by a pergola over the northern part, and soft planting to soften the outlook.
- 8.46 The proposal is considered to provide a high-quality living environment and an appropriate standard of residential amenity for future occupiers in accordance with Policy DP/3 of the South Cambridgeshire LDF 2007 and Policy CSF/2 of the Cambridge Southern Fringe AAP 2008.

## **11. Refuse Arrangements**

- 8.47 Three bin stores are to be provided for each of the two blocks within an integral storage area to comply with the design code. The refuse stores will be located within 10 metres of the collection points on Osprey Drive and Spine Road West. There will be a separate bin storage area for the commercial use within the southern block. Within the south block, the bin store will be located 14 metres from the collection point on the Community Street. Within the north block, the bin store would be located 18 metres from the collection point on the side street. These marginally exceed the recommended 10 metre drag distance set out in the RECAP guidance; however no suitable alternatives exist in this instance and the bin drag route is direct and level.
- 8.48 An underground waste recycling facility will be provided within the Local Centre adjacent to the adoptable highway. This will be adopted by a private management company, with maintenance and emptying being through a private contractor. Condition (13) will be recommended to require details of the appearance and material finish of the above ground waste hoppers.
- 8.49 Consequently, the proposal is generally compliant with the Local Centre strategy under condition 48 of the outline consent, the RECAP guide and Policy CSF/2 of the Cambridge Southern Fringe AAP 2008.

## **12. Highways Issues**

- 8.50 The Spine Road runs through the site and has already been granted permission under Reserved Matters approval. The Local Highway Authority (LHA) has raised no concerns. The spine road and footpath proposed along the eastern edge of the site will be adopted by Cambridgeshire County Council; with all other areas including the square to be managed and maintained by the private management company. The car park for the northern block will be accessed by a side street to the north west and the car park for the southern block will be accessed by the community street to the south east. The Spine Road would be defined by a flush channel kerb each side, with a flush linear drainage channel adjacent to the road. This will allow a sufficient change in surface level to provide the required demarcation for pedestrians. The proposal is compliant with Policy DP/3 of the South Cambridgeshire LDF 2007 and CSF/10 of the Cambridge Southern Fringe Area Action Plan (2008).

## **13. Car and Cycle Parking**

### Car Parking

- 8.51 The proposal would provide 24 private car parking spaces for the north block and 16

private car parking spaces for the south block. Eight car parking spaces would be provided to serve the retail units, comprising 6 spaces to the southern block court yard and 2 within the public square. Ten visitor spaces would be provided in the central square. Visitor parking will form part of a restricted parking zone from 8am to 6pm, 1 hour no return within 3 hours in a marked bay. This will be managed by a private management company. The outline permissions 08/0048/OUT and S/0054/08/O restricted the number of car parking spaces within the site to not exceed 1,800 spaces. When looking at the site wide parking breakdown including Phases at 10 & 11 which has recently been submitted but have yet to be determined, the total number of parking spaces would be 1,647 which would comply with the outline permissions. The proposed car parking provision for the residential and retail units would comply with the parking requirements set out in Policy TR/2 of the South Cambridgeshire LDF 2007 and Cambridge Southern Fringe Area Action Plan (AAP) (Table 2).

8.52 Table 2 –Parking requirements

Design Code Parking Requirement

Urban Quarter	1 space per dwelling with 1/3 on plot, 1/3 on street and 1/3 in courtyard/mews
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Cambridge Southern Fringe Area Action Plan (AAP) Parking Requirement

1 space per 50m <sup>2</sup> of retail
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8.53 Residential parking is proposed to the back of the north and south blocks. This will be visually screened and softened by shrub ground planting, large to medium size crown trees and, within the northern block a pergola structure, large scale climbing species. Sufficient space and landscape separation has been provided to allow for tree growth. Parking within the public square will be broken up by trees, hedges and planting.

8.54 There are two disabled car parking spaces provided, one for the north block and south block. This meets the requirement under condition 36 of the outline consent to provide at least 5% of all total spaces for disabled users.

Cycle Parking

8.55 Cycle parking would be provided within gated, secure bike stores for residents and within the square for visitors in the form of Sheffield stands. The proposed amount of cycle parking would accord with the requirements in the design code, which requires 1 space per bedroom up to 3 bedrooms and then 4 spaces for 4 or 5 bedroom dwellings.

8.56 A total of 67 cycle parking spaces are proposed with 1 cycle space per bedroom and 24 additional cycle spaces comprising 6 cycle spaces for staff and 18 separate cycle space for visitors located within the local square. Condition 19 is recommended to ensure that 3 off gauge cycle spaces are provided within the local square to allow sufficient space for trailer bikes and cargo bikes.

- 8.57 Consequently, the proposal is compliant with Policy TR/2 of the South Cambridgeshire LDF 2007 and Policy CSF/11 of the Cambridge Southern Fringe Area Action Plan (2008).

### **13. Construction Management Plan (CMP)**

- 8.58 The applicant has submitted a CMP as required under condition 30 of the outline planning consent. The Environmental Health Officer has confirmed that the submitted CMP is considered acceptable. The primary construction vehicular access to the site is located at the Addenbrookes Road on the southern boundary.

### **14. External Lighting**

- 8.59 Condition (20) is recommended to agree the location of the street lights to avoid any conflict with tree planting and to mitigate light glare to neighbouring bedroom windows.

### **15. Ecology**

- 8.60 The site is subject to an Ecological Management Plan previously agreed under condition 27 of the outline planning consent. There are no specific ecological enhancements required for the Local Centre Phase, which is considered acceptable by the Ecology Officer.

### **16. Archaeology**

- 8.61 Archaeological mitigation has been undertaken for the Local Centre under condition 42 of the outline planning application. The Archaeology Officer has commented that subject to the letter dated 18<sup>th</sup> October 2012 from Alison Dickens at University of Cambridge, a programme of post excavation analysis leading to publication of excavation is required. A strategy for this has been approved and analysis will be followed in writing with the Local Planning Authority.

### **17. Planning Obligation Strategy**

- 8.62 This reserved matters application does not trigger contributions under the Council's Planning Obligation Strategy. Contributions have been secured towards on site and off site infrastructure and community development resources and other revenue related requirements under the S106 agreement for outline permissions 08/0048/OUT and S/0054/08/O.

## **9.0 CONCLUSION**

- 9.1 This reserved matters application complies with the principles of the outline permission parameter plans and design code and will make a positive contribution to the character and appearance of the urban, riverside and gateway quarters within the Trumpington Meadows development. APPROVAL is recommended.

## **10.0 RECOMMENDATION**

**APPROVE** subject to the following conditions:

1. No works or development above finished ground level shall take place until samples and details of the colour of the materials to be used in the construction of the external surfaces of the buildings, (which includes external features such as windows, doors, porch details, brick specification, projecting bay and dormer windows, garage doors, external metal work, rain water goods, and coping) have been submitted to and approved in writing by the local planning authority. Brick sample panels of the facing materials to be used shall be erected on site and shall be at least 1m x 1m to establish the detailing of bonding, coursing and colour and type of jointing and shall be agreed in writing with the local planning authority. Development shall be carried out in accordance with the approved details. (Reason: To ensure the appearance of the development is satisfactory in accordance with Policy DP/2 of the adopted Local Development Framework 2007.)
2. No works or development above finished ground level shall take place until details of all non-masonry walling systems, cladding panels or other external screens including structural members, infill panels, edge, pergolas, junction and coping details, colours, surface finishes/textures and relationships to glazing and roofing have been submitted to and approved in writing by the Local Planning Authority. This may consist of large-scale drawings and/or samples. Development shall be carried out in accordance with the approved details. (Reason: In the interests of visual amenity in accordance with Policy DP/2 of the adopted Local Development Framework 2007.)
3. No works or development above finished ground level shall take place until details of all windows and doors (to a scale of 1:20) (including the entrance porch features), as identified on the approved drawings, including materials, colours, surface finishes/textures have submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details. (Reason: In the interests of visual amenity in accordance with Policy DP/2 of the adopted Local Development Framework 2007.)
4. No works or development above finished ground level shall take place until details of the appearance and materials of the proposed balconies (including balustrade and Juliet) have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details. (Reason: To accord with Policy DP/2 of the adopted Local Development Framework 2007.)
5. No works or development above finished ground level shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. These details shall include proposed finished levels or contours; means of enclosure; car parking layouts, other vehicle and pedestrian access and circulation areas; hard surfacing materials; minor artefacts and structures (e.g. furniture, play equipment, refuse or other storage units, signs, lighting); proposed and existing functional services above and below ground ( drainage, power, communications cables, pipelines indicating lines, manholes, supports); retained historic landscape features and proposals for restoration, where relevant. Soft Landscape works shall include planting plans; written

- specifications (including cultivation and other operations associated with plant and grass establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate and an implementation programme. (Reason: In the interests of visual amenity and to ensure that suitable hard and soft landscape is provided as part of the development in accordance with Policy DP/2 of the adopted Local Development Framework 2007.)
6. No works or development above finished ground level shall take place until a landscape maintenance and management plan, including long term design objectives, management responsibilities and maintenance schedules for all landscape areas have been submitted to and approved in writing by the local planning authority. The landscape plan shall be carried out as approved. Any trees or plants that, within a period of five years after planting, are removed, die or become in the opinion of the local planning authority, seriously damaged or defective, shall be replaced as soon as is reasonably practicable with others of species, size and number as originally approved, unless the local planning authority gives its written consent to any variation. (Reason: To ensure the provision of amenity afforded by the proper maintenance of existing and/or new landscape features in accordance with Policy DP/2 of the adopted Local Development Framework 2007.)
  7. No works or development above finished ground level shall take place until there has been submitted to and approved in writing by the Local Planning Authority a plan indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed before the use is commenced in accordance with the approved details and shall thereafter be retained. (Reason - To ensure that the appearance of the site does not detract from the character of the area in accordance with Policy DP/2 of the adopted Local Development Framework 2007.)
  8. No building hereby permitted shall be occupied until the surface water drainage scheme serving the building and its car parking has been completed in accordance with the submitted details. The surface water drainage scheme shall be managed and maintained thereafter in accordance with the agreed details and management and maintenance for the lifetime of the development. (Reason: To prevent the increased risk of flooding in accordance with Policy NE/11 of the adopted Local Development Framework 2007.)
  9. Public opening hours for the retail/commercial units identified as Retail 1, 2 & 3 on drawing 068-A-120 Rev P1 Ground Floor Plan South Block, hereby approved, shall not be outside the hours of 07:30 to 23:00 hours (Monday to Saturday) and 07:30 to 22:00 hours (Sunday, Bank and Public Holidays) (Reason: To protect the amenity of the adjoining and nearby properties in accordance with Policy DP/3 of the adopted Local Development Framework 2007.)
  10. There shall be no retail or commercial related deliveries to the approved development outside the hours of 07:00 and 19:00 hours (Monday to Saturday) and 09:00 to 17:00 hours (Sundays, Bank and Public Holidays) unless otherwise agreed in writing by the Local Planning Authority. (Reason: To protect the



amenity of the adjoining and nearby properties in accordance with Policy DP/3 of the adopted Local Development Framework 2007.)

11. Prior to the occupation of the retail or commercial units, an assessment of the noise impact of any plant serving those units, and a scheme for sound insulation where required to minimise the level of noise emanating from said plant or equipment, shall be submitted to and approved in writing by the local planning authority. Any noise insulation scheme as approved shall be fully implemented before the use, hereby permitted, is occupied and shall thereafter be maintained in strict accordance with the approved details and shall not be altered without prior written approval from the Local Planning Authority. (Reason: To protect the amenity of adjoining and nearby properties in accordance with Policy DP/3 of the adopted Local Development Framework 2007.)
12. Prior to the occupation of any A3 units, details of equipment for the purposes of extraction, filtration and/or abatement of fumes and/or odours shall be submitted to and approved in writing by the Local Planning Authority. The approved extraction/filtration and/or abatement of fumes and/or odours shall be submitted to and approved in writing by the Local Planning Authority. The approved extraction/filtration/abatement scheme shall be installed before the use, hereby permitted, is commenced and shall be serviced and maintained in accordance with manufacturer specifications to ensure its continued satisfactory operation and shall be retained thereafter. (Reason: To protect the amenity of adjoining and nearby properties in accordance with Policy DP/3 of the adopted Local Development Framework 2007.)
13. Prior to the installation of any above ground waste hoppers, details of the appearance and material finish of the hoppers shall be submitted to and approved by the Local Planning Authority. The approved hoppers shall be installed and operational prior to the occupation of the units to which they serve. Development shall be carried out in accordance with the approved details. (Reason: To ensure that the appearance of the underground waste hoppers are appropriate in accordance with Policy DP/3 of the adopted Local Development Framework 2007).
14. The number of proposed units contained within retail units 1,2 and 3 shall be in accordance with plan 068-A-100 Rev P2. Any amalgamation of units shall be accompanied by a statement containing the operational justification for the new configuration, the impact on the proposed local centre and any external design implications. The development shall be carried out in accordance with the agreed details. (Reason: A new configuration of units within the local centre would have a different impact on servicing, design and amenity which would require assessment by the Local Planning Authority in accordance with Policy DP/3 of the adopted Local Development Framework 2007).
15. Prior to occupation of each separate commercial unit hereby approved, a management plan shall be submitted to and approved in writing by the Local Planning Authority. The management plan shall include details of measures taken to minimise the impact on the amenities of nearby residential properties. In the case of A3 (Restaurant and Café) uses this will include details of outside seating hours of use and management, measures to ensure the impact of the

coming and goings of patrons is appropriately managed, details of deliveries and contact details for residents to report undue noise or disturbance. The development shall be occupied in accordance with the agreed management plan(s). (Reason: In the interests of the amenity of adjacent future residents in accordance with Policy DP/3 of the adopted Local Development Framework 2007).

16. Prior to occupation of the development, full details of the scheme for public art shall be submitted to and approved in writing by the Local Planning Authority. The submitted scheme shall be in accordance with the approved Trumpington Meadows Public Art Strategy (August 2010) and include details of the following:
- a) Descriptions, plans and images of the public art including its location
  - b) Details of community engagement and consultation including measures to promote involvement in the evolution of the public art
  - c) Project timescale
  - d) Delivery mechanisms
  - e) The total amount allocated for the proposed public art including maintenance and decommissioning costs (if applicable)

Development shall be carried out in accordance with the approved details. (Reason: To ensure that the details of the public art comes forward in accordance with the Public Art Strategy and that the public art positively contributes to its context within the public realm in the interests of creating successful, high quality, attractive environments in accordance with Policy SF/6 of the adopted Local Development Framework 2007.)

17. Prior to completion of the development the following implementation and maintenance details of the public art approved under condition 16 shall be submitted to and approved in writing by the Local Planning Authority:
- a) Details for the installation of the public art
  - b) Legal ownership and insurance details
  - c) Responsibility for implementation
  - d) Responsibility for maintenance and maintenance schedules
  - e) Details of decommissioning including timescales and reparation (if applicable)

(Reason: To ensure that the details of maintenance and implementation of the public art are considered, in the interest of creating a successful, high quality, attractive environment in accordance with Policy SF/6 of adopted Local Development Framework 2007.)

18. Prior to the installation of any artificial lighting an artificial lighting scheme, to include details of any external lighting of the site such as street lighting, floodlighting, security / residential lighting and an assessment of impact on any sensitive residential premises on and off site, shall be submitted to and approved in writing by, the Local Planning Authority. The scheme shall include layout plans / elevations with luminaire locations annotated, full isolux contour map / diagrams showing the predicted illuminance intensity in the horizontal and vertical plane (in lux) at critical locations within the site and on the boundary of the site and at

future adjacent properties, including consideration of Glare (direct source luminance / luminous intensity in the direction and height of any sensitive residential receiver) as appropriate, hours and frequency of use, a schedule of equipment in the lighting design (luminaire type / profiles, mounting height, aiming angles / orientation, angle of glare, operational controls) and shall assess artificial light impact in accordance with the Institute of Lighting Professionals "Guidance Notes for the Reduction of Obtrusive Light GN01:2011" including resultant sky glow, light intrusion / trespass, source glare / luminaire intensity and building luminance. The approved lighting scheme shall be installed, maintained and operated in accordance with the approved details. (Reason: To protect local residents from light pollution / nuisance and protect / safeguard the amenities of nearby residential properties in accordance with Policy DP/3 and NE/11 of the adopted Local Development Framework 2007).

19. Prior to occupation of the development, plans to show the location and specification of three off-gauge bicycle parking spaces to be provided within the local square shall be submitted to and approved by the Local Planning Authority. The agreed off-gauge cycle parking details shall be fully constructed and finished prior to the first occupation of southern block. (Reason: In the interests of sustainable travel in accordance with Policy DP/1, DP/2, DP/3, TR/1, TR/2 and TR/4 of the adopted Local Development Framework 2007).
20. The development hereby permitted shall be carried out in accordance with the following approved plans:

#### **Site Plans**

068-A-001 (Site Location Plan- SCDC Land Area)

#### **Diagrams**

068-A-002 Rev P01 (Contour Levels)  
068-A-300 P1 (Context Sections)  
068-A-700 Rev P2 (Ground Floor Plan – Tenure Mix)  
068-A-701 Rev P2 (First Floor Plan – Tenure Mix)  
068-A-702 Rev P2 (Second Floor Plan –Tenure Mix)  
068-A-703 Rev P2 (Accessible Dwellings)  
068-A-800 Rev P1 (Cycle Strategy)  
068-A-801 Rev P1 (North Block- Cycle Storage Detail)  
068-A-802 Rev P1 (South Block-Cycle Storage Detail)  
068-A-820 Rev P2 (Refuse Strategy)  
068-A-821 Rev P2 (North Block- Refuse Detail)  
068-A-822 Rev P1 (South Block-Refuse Detail)  
068-A-900 Rev P1 (Sunlight Study)  
068-A-901 Rev P1 (South Block- Retail)

#### **Architectural Drawings**

068-A-100 Rev P2 (Ground Floor Plan)  
068-A-101 Rev P1 (First Floor Plan)  
068-A-102 Rev P1 (Second Floor Plan)

068-A-103 Rev P1 (Roof Plan)  
068-A-110 Rev P2 (Ground Floor Plan North Block)  
068-A-111 Rev P1 (First Floor Plan North Block)  
068-A-112 Rev P1 (Second Floor North Block)  
068-A-113 Rev P1 (Roof Plan North Block)  
068-A-120 Rev P1 (Ground Floor Plan South Block)  
068-A-121 Rev P1 (First Floor Plan South Block)  
068-A-122 Rev P1 (Second Floor South Block)  
068-A-123 Rev P1 (Roof Plan South Block)  
068-A-200 Rev P1 (Square Elevations)  
068-A-201 Rev P1 (Street Elevations)  
068-A-210 Rev P1 (Elevations North Block)  
068-A-211 Rev P1 (Elevations North Block)  
068-A-220 Rev P1 (Elevations South Block)  
068-A-221 Rev P1 (Elevations South Block)  
068-A-300 Rev P1 (Context Sections)  
068-A-310 Rev P1 (Sections North Block)  
068-A-320 Rev P1 (Sections South Block)  
068-A-410 Rev P1 (Unit Types 01)  
068-A-411 Rev P1 (Unit Types 02)  
068-A-412 Rev P1 (Unit Types 03)  
068-A-420 Rev P1 (Units Types 01)  
068-A-421 Rev P1 (Units Types 02)  
068-A-510 Rev P1 (North Block – Staircase 01)  
053-A-511 Rev P1 (North Block – Staircase 02)  
068-A-520 Rev P1 (South Block – Staircase 01)  
053-A-521 Rev P1 (South Block – Staircase 02)  
068-A-610 Rev P1 (Bay Studies)  
068-A-620 Rev P1 (Bay Studies)

### **Landscaping Street Scenes**

536.LC.D.00 Conceptual Landscape Masterplan  
536.LC.D.01 (Tree Planting Plan)  
536.LC.D.02 (Tree Position Analysis)  
536.LC.D.03 (Infrastructure Planting Plan)  
536.LC.D.05 (Typical Tree Pit Detail for Paved Areas)  
536.LC.D.06 (SUDS\_Typical Tree Pit Detail)  
536.LC.D.07 (Typical Tree Pit detail in Soft Landscape)  
536.LC.D.09 (Planting Mixes-Typical Detail)  
Outline Specification For Soft Landscape Works Revision A Local Centre  
5 Year Management and Maintenance Schedule Revision A

### **Other Documents**

Trumpington Meadows Riverside – Design and Access Statement including  
Compliance Statement dated 23<sup>rd</sup> November 2016  
SUDS Maintenance Plan SMP-RQ-01  
Drainage Strategy Statement dated 05/08/2016  
536.LC.D.04 (Pedestrian/Cycleways Diagram)  
536.LC.D.08 Rev C Indicative Adoption/Management Plan

0658-RPZ-001 Rev B (Overall Proposed Restricted Parking Zones)  
0658-RPZ-003 Rev A (Proposed Restricted Parking Zones Sheet 3 of 3)  
0658-SK-139 Rev G (Tracking and Visibility)  
0658-SK-140 Rev G (Highway Adoption Plan)  
0658-SK-142 Rev D (Detailed Drainage Strategy)  
0658-SK-153 Rev D (Recycling Centre)  
6435-APP-01C (Access & Phase Plan)  
H6435/COMP/01 A (Compound Details)  
Sustainable Design & Construction Statement dated 21<sup>st</sup> September 2016 by  
Daedalus Environmental Limited

(Reason – In the interests of good planning, for the avoidance of doubt and to facilitate any future application to the Local Planning Authority under Section 73 of the Town and Country Planning Act 1990.)

**Contact details**

To inspect the application or if you have any queries on the report please contact:

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**Appendix**

APPENDIX 1 – Plan of Trumpington Meadows Phases

APPENDIX 2 - Quality Panel minutes dated 11<sup>th</sup> April 2016

APPENDIX 3- Visuals of the proposed scheme

APPENDIX 4- Design code compliance statement

# APPENDIX 1 – Plan of Trumpington Meadows Phases



## **APPENDIX 2 - Quality Panel minutes dated 11<sup>th</sup> April 2016**

### **CAMBRIDGESHIRE QUALITY PANEL REPORT OF PANEL MEETING**

**Scheme:** Trumpington Meadows Local Centre

**Date:** 24th August 2016

**Venue:** Shire Hall Room 128, Cambridgeshire County Council, CB3 0AP

**Time:** 13:30 -16:30

**Quality Panel Members** Robin Nicholson (Chair) Oliver Smith Luke Engleback Nick James Steve Platt Phil Jones

**Panel secretariat and support** Alokiir Ajang – Cambridgeshire County Council Judit Carballo – Cambridgeshire County Council

**Local Authority Attendees** Andrew Winter, Senior Planning Officer – South Cambridgeshire District Council

**Applicant and Representatives** Andrew Taylor– Barratts Eastern Counties Tim Eyton-Jones – Barratts Eastern Counties Burinder Lekh –Barratts Eastern Counties Adam Tillion – Barratts Eastern Counties Alison Wright– Bidwells Sarah Cullen – Bidwells Joseph Faycal – Makower Architects Timothy Makower – Makower Architects Adrian Geary– WSP Hussein Panjwani – WSP Guillaume Baltz – BHSLA

- 1. Scheme description and presentation** Architect/Designer Makeover Architects  
Applicant Barratts Eastern Counties Planning status Pre – determination stage
- 2. Overview** The Local Centre forms part of the wider Trumpington Meadows Site which lies on the south western edge of Cambridge to the west of Hauxton Road, immediately west and north of the Trumpington Park & ride on the former Monsanto Site. The site sits within the administrative areas of both Cambridge City Council and South Cambridgeshire District Council. It forms part of the area primarily allocated for residential development within the Cambridge Local Plan 2006. Trumpington Meadows Local Centre is situated within close proximity of the Village and Urban Quarter and it lies at the centre of the wider masterplan. The site lies in between Phase 8, Phase 9 and Trumpington Meadows Primary School and defines the square at the Local Centre. The proposal comprises the following: • 40 Apartments (density 61 dph), with a mix of 1-bed (50m<sup>2</sup>) and 2 bed (70m<sup>2</sup>) (40/60 Affordable/Market tenure) • Car parking at the back courtyards. • Refuse and cycle stores. The Local Centre is a key character area within the Design Code. In April 2016 the Quality Panel reviewed a Pre-reserved matters application for Trumpington Meadows Riverside by the same Applicant. Phases 10 and 11 are anticipated to be presented to the Panel in September 2016.
- 3. Cambridgeshire Quality Panel views**

#### Introduction

The Panel commended the Applicant on their presentation and they were encouraged by the level of work presented at this stage.

The Panel's advice reflects the issues associated with each of the four 'C's' in the Cambridgeshire Quality Charter. The comments below include both those raised in the open session of the meeting and those from the closed session discussions.

### Community

The consultation process with existing communities was discussed and the Panel highlighted the need to carefully consider who was addressed, who responded, who was missing and the types of groups included. This would be a rare opportunity to learn from the existing communities at Trumpington Meadows to help improve the design and future social interactions.

There is a need to identify who is using which space and when, what activities will occur, for example, will the seating be mainly used by teenagers for gathering? Thought must be given into treating the anxieties that certain groups and activities may create among existing residents. Activities like markets need to be managed.

The Panel accepted the less than ideal location of the shops on the south side but encouraged the selection of useful local shops with the flexibility to re-purpose the space and felt that the scheme would benefit from a strategy about the retail units. There was some concern about traffic being generated by shops becoming the 'go-to' local specialist as in some local villages.

### Connectivity

The Spine Road traffic flow and volume through the site was discussed and the Panel advised considering the behaviours of pedestrians and drivers. The Panel felt that the linear paving pattern and strong lighting column alignment may instil a sense of it being a road rather than a pedestrian square. Instead the square should give priority to pedestrians over vehicles and ensure safe, legible crossing points are laid out in the design.

Thought should be given to the treatment of the pavement and rotating the geometrical pattern to relate to the school entrance and route to the park. This could subtly create and encourage desired road behaviours, precedents such as O'Donnell Street in Dublin or Skvallertorget Square (Noorkoping, Sweeden) were suggested as useful comparators.

The Panel suggested reducing the amount of trees in the centre as they appear to reinforce the feeling of a road passing through the pedestrian area. The Panel encouraged the Applicant to aim to create a space where pedestrians feel free and comfortable.

The Panel were concerned about parking provisions in the centre and queried whether this was positioned in the right place.

### Character

Three main spaces were identified within the square; the north, the school forecourt and the east. The Panel appreciated the highway constraints on the north side; however, it was felt the school side appeared to be less developed than the other spaces.



The Panel were satisfied with the overall building heights, although they could imagine four floors; comparative studies of the size and containment of other such spaces would be helpful. They enjoyed the raised parapet features marking the view towards Trumpington Church.

The Panel supported the proposed number of openings and variations of width within the facades and the overall calmness of the design; the Panel felt that the blue brickwork base could be taken higher. It was noted that there are lots of shops with blanked out windows and the Panel felt that measures should be taken to prevent this happening.

High quality lighting was needed to create a sense of place and take away the emphasis of the road.

The Panel supported the idea of the big tree and bench in front of the school but questioned whether it was positioned in the right place and whether evergreen oak might become invasive.

The Panel supported the idea of planted pergolas in the rear parking courts and liked the passages through to the courts.

Climate The Panel supported the simple approach to climate however it was felt that further thought must be given to the internal corridors and it was noted that the scheme would benefit from sunlight and ventilation study. The Panel were happy with the dual aspect plans however, it was highlighted that there may be an acoustic issue when facing the public square. The Panel wanted to see how the flat roofs would be used with PVs, planting, etc. Concerns were raised in relation to the positioning of the recycling centre using the 22m rule. The Panel noted that this was based on above ground facilities and this rule should be interrogated and adapted to ensure it works for underground.

In regards to Code Level 4 homes, the Panel were concerned that the implications had not yet been considered and noted that it could lead to issues with ventilation and overheating. It is fundamental for the execution of the energy response to consider future climate resilience as soon as possible.

#### **4. Conclusion**

The Panel welcomed seeing the scheme at such an early stage and thanked the Applicant for their thorough presentation. The Panel was generally pleased with the level of thought however they urged the Applicant to be mindful that the consultation is not just a process to present a design but to seek an opinion. The Panel made the following recommendations, further details can be found above:

- Explore the potential uses of the space by different groups, for example consider the provision of an urban gym, to the east of the square next to the school.
- Explore alternatives for the parking and recycling centre.
- Consider the use of feature lighting to create a sense of place

- Overheating is a concern, as many new homes overheat and it is expensive to correct.
- There is an opportunity to raise some of the buildings to 4 floors.
- The architecture should remain calm and simple.

- Consider paving and shared surface patterns and how this will affect pedestrian and driver's behaviour. Is the grid the right size and scale? The Panel encourage further dialogue with the County Highways to allow for the change in surfaces.

### APPENDIX 3- Visuals of the proposed scheme

North Block- South Elevation facing the square



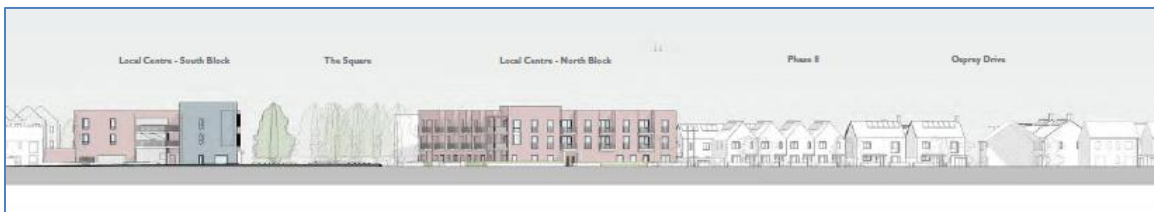
South Block- North Elevation facing the square



Street Scene –West Elevation



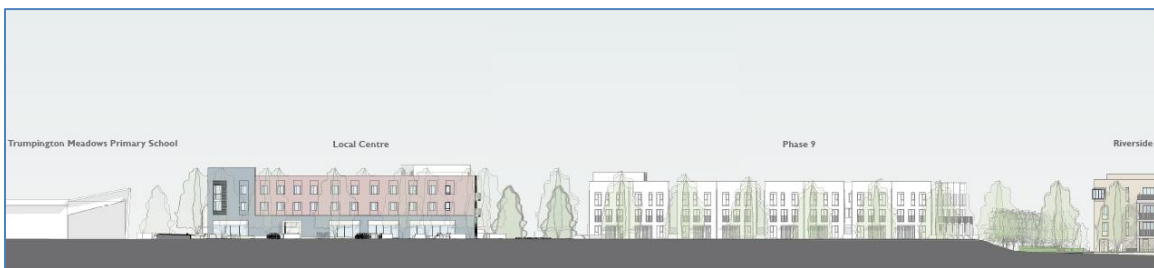
Street Scene- East Elevation



Illustrative north elevation of square showing local centre within its context



Illustrative south elevation of square showing local centre within its context



Illustrative aerial view looking West towards the country park showing the local centre



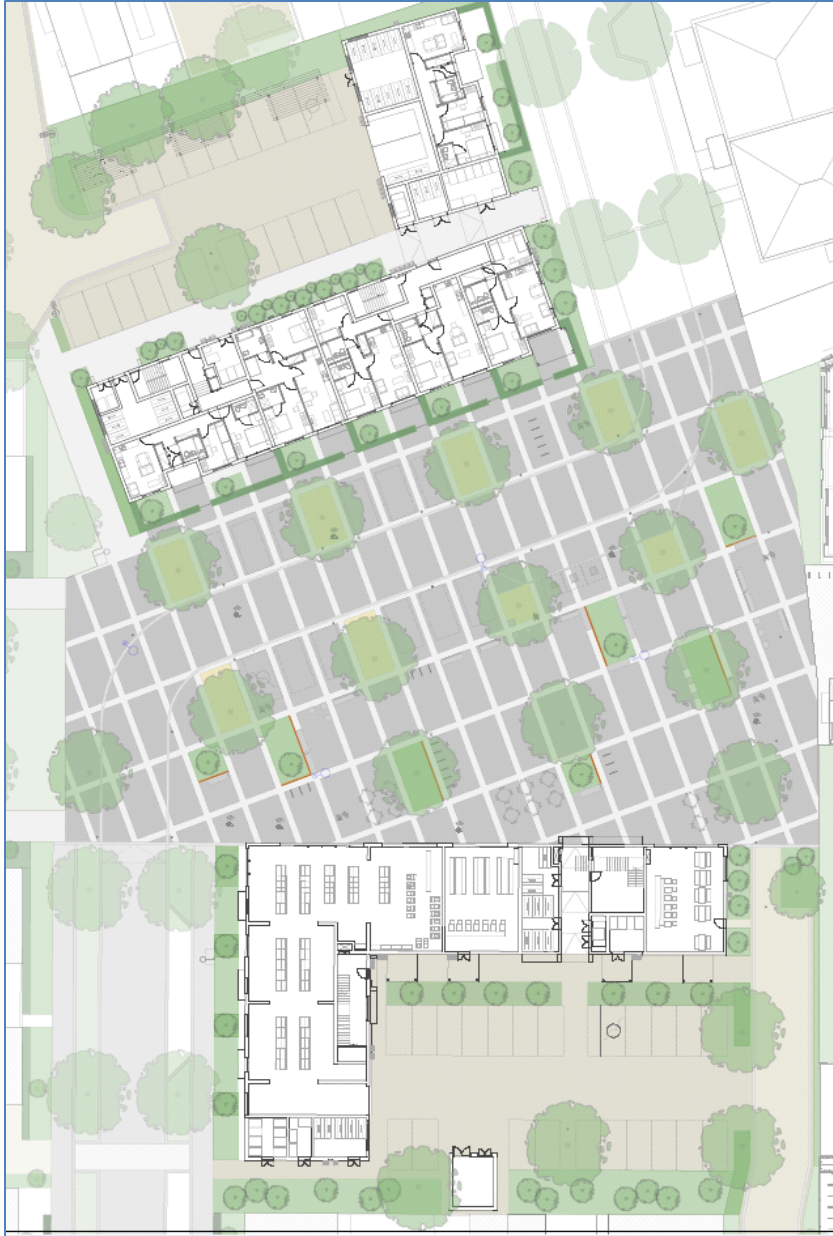
South block- Illustrative view showing the retail units



Scheme Layout – ground floor plan retail and residential



Landscape Masterplan



## **APPENDIX 4- Design code compliance statement**